

Property Condition Assessment

Subject Property:

100 Main Street, Anytown, ST 00000

Freddie Mac Loan Number: TBD

Engaged By:

Client Name:	Charles Client
Client Company:	Sample Client Company
Client Address:	500 West Avenue, Anytown, ST, 10000
Order Number:	SAMPLE-001
Date of Engagement:	January 1, 2024
Report Date:	February 1, 2024

February 1, 2024

Charles Client
Sample Client Company
500 West Avenue
Anytown, ST 10000

RE Property Condition Assessment of
Garden Apartments
100 Main Street
Anytown, ST 00000

CREtelligent Project No.: SAMPLE-001

Dear Charles Client,

At your request, CREtelligent has completed a Property Condition Assessment (PCA) of the above-referenced Property. This assessment was performed in accordance with the American Society for Testing and Materials (ASTM) E 2018-24: *Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process* and the Freddie Mac Multifamily Seller/Service Guide, Chapter 62: *Property Condition Report Requirements*, and is subject to the limitations and scope considerations contained within the ASTM Standard.

This report was prepared solely for the use of Freddie Mac, Sample Client Company (hereinafter "Client" or "User"), and any party specifically referenced in the User Reliance section. No other party shall have the right to rely on this report or the findings herein without the prior written consent of CREtelligent.

Sincerely,

Signature for Tadd Clarkson, RA

Tadd Clarkson, RA
Director, Property Condition Services
CREtelligent

Freddie Mac Loan Number TBD	Report Date February 1, 2024	Property name Garden Apartments
Seller/Service name TBD		Address 100 Main Street
Seller/Service number TBD	Inspection date January 15, 2024	City, State, Zip Anytown, ST 00000
Number of apartment buildings 5	Number of other buildings 2	On-site contact name Edward Escort
		On-site contact telephone number 800-555-0000
Number of stories 2	Age of buildings (in years) 16	Weather at time of inspection (clear, rain, snow cover, etc) Clear
Property condition consultant (firm name) CREtelligent		Inspector's name Amanda Assessor
Address 11344 Coloma Road, #850		Title Field Observer
City, State, Zip Gold River, CA 95670		Telephone number 866-941-6566

Building and Material Characteristics

Put an "x" in the appropriate boxes below and furnish additional information when requested

Building Types

- Garden
- Walk-up
- Elevator
 - Lowrise
 - Midrise
 - Highrise
- Townhouse
- Other

Construction Type

- Wood frame
- Metal frame
- Structural steel
- Masonry
- Structural concrete
- Flat roof
- Pitched roof
- Flat roof with mansards
- Fire-treated plywood
- Other

Foundation Type

- Slab on grade
- Concrete pier (drilled)
- Spread, raised foundation
- Underground parking structure
- Other

Parking

Envelope

- Stucco
- Wood siding
 - T-111
 - Masonite
 - Planking
- Vinyl siding
- Brick Veneer
- Metal doors
- Wood doors
- Wood sash windows
- Aluminum windows
- Other
Fiber cement siding

Elevators

Number of cabs
Last inspection date

Mechanicals (plumbing)

- Galvanized water piping
- Copper water piping
- Polybutylene water piping
- Cast iron waste
- ABS/PVC waste
- Central water heater
 - Gas
 - Electric
- Individual water heater
 - Gas

Mechanicals (HVAC)

- Central boiler steam heat
- Hydronic system
- Gas FAU, central
- Electric FAU, central
- Electric baseboard heat
- Wall-mounted AC unit
- AC condenser units
- Evaporative cooler unit
- Other (heat)
- Other (AC)

Electrical

- Unit capacity
125 amps
- Aluminum branch wiring
- Edison base/T-type fuses
- Tamper proof fuses
- Breakers
- GFI outlets
- Other

Interior

- Drywall walls
- Plaster walls
- Wood paneling
- Carpeting
- Wood flooring
- Ceramic floor tile
- Vinyl flooring
- Wood doors

Amenities (site)

- Club building/room
- Swimming pool
- Spa and/or sauna
- Fitness Center
- Barbecue
- Tennis courts
- Playground equipment
- Storage
- Other
Basketball court

Mold

- Mold evidence observed
- Areas impacted by water intrusions observed
- Defective building conditions likely to lead to future water intrusions observed
- Past/current water intrusions or leaks reported
- Tenant complaints reported

Problem materials/equipment

- Other

Life/Safety Devices

- Smoke detectors
- Carbon monoxide detectors
- Fire extinguishers
- Emergency lighting

- Surface (uncovered)
- Structured
- Carports
- Garages
- Underground

- Electric
- Circulating hot water
- Other

- Metal doors
- Spray-tex ceiling
- Smooth ceiling
- Orange peel/textured
- Other

- Emergency escapes
- Pull stations/cords
- Fire alarms
- Sprinklers

Unit Mix

Complete **Table 1** for residential units only. Commercial units, both spaces that are purpose-built and dwelling units converted to commercial use will be accounted for in **Table 2**. If "Other" dwelling units have been indicated, **Table 3** will need to be completed as indicated.

Table 1 - below, indicate the unit type and occupancy at the time of the visit and the number of units inspected of each type.

Unit Type				Number of units				Number of units inspected			
BR	BA	SF	Style	Occupied	Vacant	Down	Other	Occupied	Vacant	Down	Other
1	1	825	Garden or Flat	15	1	0	0	1	1	0	0
2	1	1124	Garden or Flat	19	1	0	0	2	0	0	0
Totals:				34	2	0	0	3	1	0	0

Table 2

Detail of Commercial Units

	Occupied	Vacant	Down	Total
Number of purpose-built spaces	0	0	0	0
Number of converted residential units	0	0	0	0

Total residential units	36
Total commercial units/spaces	0
Total ALL units	36

Unit Inspection Information

Indicate the type of unit, using the following abbreviations: 0BR, 1BR, 2BR, 3BR, 4BR, 5BR. Give the unit number and status, using the following status codes: O = occupied, V = vacant, D = down and R = Other. (For example, an occupied one-bedroom unit numbered 101 should be listed as 1BR/101/O.)

1 1BR A5 O 2 2BR B7 O 3 2BR C2 V 4 1BR D8 O

List of Parties Present

Provide a listing of parties involved in the site visit (including the consultants).

1	Name	Angela Assessor	Title	Field Observer
	Company	CREtelligent	Affiliation	Consultant
Comments				
2	Name	Edward Escort	Title	Facility Manager
	Company	Property Management Company	Affiliation	Subject Property
Comments				

Seismic Checklist

Is the property located within an Elevated Seismic Hazard Region as defined in Section 16.2 of the Freddie Mac Multifamily Seller/Service Guide ○ Yes ● No

Consultant's Certification

On behalf of the property condition consultant, the undersigned hereby certifies that:

- The attached property condition report was prepared by the consultant in accordance with all applicable requirements in the Freddie Mac Multifamily Seller/Servicer Guide
- The report was prepared in a manner consistent with generally accepted industry practices and standards
- All information is true and correct, to the best of the undersigned's knowledge, and reflects the consultant's best professional opinion and judgment
- No changes or additions have been made to the standard provisions of this form other than those expressly approved in writing by Freddie Mac

Consulting firm name
CREtelligent

Signature of authorized representative

Date

February 1, 2024

Name (typed or printed)

Title

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Section II: Property Inspection and Evaluation

Freddie Mac Loan Number TBD	Report Date February 1, 2024	Property name Garden Apartments
Seller/Service name TBD		Address 100 Main Street
Seller/Service number TBD	Inspection date January 15, 2024	City, State, Zip Anytown, ST 00000

Site

Complete the estimated useful life, condition, remaining useful life, action and comments for the applicable items listed below. Indicate the condition using the following abbreviations: E = excellent, G = good, A = average, F = fair and P = poor. Indicate the action required using the following abbreviations: CR = Critical Repairs; PR = Priority Repairs; PR90 = 90 day Priority Repairs; OR = Operational Repairs and RR = reserve for future repair/replacement. See Section V for a complete description of each repair category. The consultant should attach additional information as needed. The consultant must also note any Mold observations on any component in the comment sections.

Item	Estimated Useful Life	Condition (E, G, A, F, P)	Remaining Useful Life	Action (CR, PR, PR-90, OR, RR)	Comments/Mold Observations
Carports					
Garages					
Maintenance structures					
Trash enclosures					
Roadways/Parking lots					
Asphaltic concrete	25	G	9		
Seal coat	5	G	3	RR	
Concrete paving					
Other paving					
Striping					
Curb and gutter	30	G	14		
Interior gutter (swale)					
Pedestrian paving/hardscape	30	A	14	PR-90	
Signage	15	G	5		
Site utilities					
Site water lines	40	G	24		
Site sanitary lines	50	G	34		
Site lighting	25	G	9		
Site drainage (storm drainage)	50	G	34		
Landscaping	30	G	14		
Irrigation	30	G	14		
Site fences	50	G	34		
Tennis courts	15	G	13		
Swimming pool and/or spa					
Pool and/or spa plaster/lining	15	G	6	RR	
Pool and/or spa heating equipment					
Pool and/or spa filtration equipment	10	G	7	RR	
Pool and/or spa deck surface	25	G	9		
Sauna					
Recreation/Play area and equipment	20	G	13		

Freddie Mac Loan Number TBD	Report Date February 1, 2024	Property name Garden Apartments
Seller/Service name TBD		Address 100 Main Street
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Structural, building envelope and common area furniture, fixtures and equipment

Complete the estimated useful life, condition, remaining useful life, action and comments for the applicable items listed below. Indicate the condition using the following abbreviations: E = excellent, G = good, A = average, F = fair and P = poor. Indicate the action required using the following abbreviations: CR = Critical Repairs; PR = Priority Repairs; PR90 = 90 day Priority Repairs; OR = Operational Repairs and RR = reserve for future repair/replacement. See Section V for a complete description of each repair category. The consultant should attach additional information as needed. The consultant must also note any Mold observations on any component in the comment sections.

Item	Estimated Useful Life	Condition (E, G, A, F, P)	Remaining Useful Life	Action (CR, PR, PR-90, OR, RR)	Comments/Mold Observations
Foundation (structural)	50	G	34		
Foundation (waterproofing)	20	G	13		
Building slab (structural)	50	G	34		
Exterior walls/roof (structural)	50	G	34		
Exterior walls (paint/finish)	10	G	4	RR	
Doors and frames	30	G	14		
Windows and frames	30	G	14		
Stairs	25	G	9		
Fire escapes					
Balconies/handrails/guardrails	30	G	14		
Decks	50	G	34		
Patio slabs	40	G	24		
Unit fencing (patio fencing)	50	G	34		
Roof coverings	25	G	9	RR	
Roof drainage (gutters, drains, etc.)	25	G	9		
Building mounted lighting					
Common area improvements					
Common area floors	10	G	5	RR	
Community facilities kitchen	20	G	4		
Community facilities appliances	25	G	9		
Community washing machines					
Community clothes dryers					

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Mechanical and electrical

Complete the estimated useful life, condition, remaining useful life, action and comments for the applicable items listed below. Indicate the condition using the following abbreviations: E = excellent, G = good, A = average, F = fair and P = poor. Indicate the action required using the following abbreviations: CR = Critical Repairs; PR = Priority Repairs; PR90 = 90 day Priority Repairs; OR = Operational Repairs and RR = reserve for future repair/replacement. See Section V for a complete description of each repair category. The consultant should attach additional information as needed. The consultant must also note any Mold observations on any component in the comment sections.

Item	Estimated Useful Life	Condition (E, G, A, F, P)	Remaining Useful Life	Action (CR, PR, PR-90, OR, RR)	Comments/Mold Observations
Mechanical/Plumbing					
Hot and cold water distribution	50	G	34		
Domestic water boilers					
Domestic water boiler peripherals					
Domestic water heaters	15	G	1	RR	
Domestic water pumps					
Sanitary waste and vent (sewer)	45	G	29		
Mechanical/HVAC					
Heating system	20	G	4	RR	
Cooling system	20	G	4	RR	
Electrical					
Building power/wiring	60	G	44		
Switchgear/metering	40	G	24		
Emergency lighting/generator					
Smoke and fire detection	15				
Buzzer/intercom (security)					
Fire suppression	50	F	34	PR-90	
Elevators					
Security					

Freddie Mac Loan Number
TBD

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February 1, 2024

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Garden Apartments

Seller/Service name
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100 Main Street

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January 15, 2024

City, State, Zip
Anytown, ST 00000

Dwelling units

Complete the estimated useful life, condition, remaining useful life, action and comments for the applicable items listed below. Indicate the condition using the following abbreviations: E = excellent, G = good, A = average, F = fair and P = poor. Indicate the action required using the following abbreviations: CR = Critical Repairs; PR = Priority Repairs; PR90 = 90 day Priority Repairs; OR = Operational Repairs and RR = reserve for future repair/replacement. See Section V for a complete description of each repair category. The consultant should attach additional information as needed. The consultant must also note any Mold observations on any component in the comment sections.

Item	Estimated Useful Life	Condition (E, G, A, F, P)	Remaining Useful Life	Action (CR, PR, PR-90, OR, RR)	Comments/Mold Observations
Unit entry door(s) and frame(s)	30	G	14		
Patio doors	30	G	14		
Smoke/fire detection	15	G	4		
Buzzer/intercom (security)					
Window coverings					
Flooring					
Carpet	7	G	1	RR	
Resilient flooring (vinyl)	15	G	1	RR	
Cabinetry					
Kitchen	25	G	9		
Bathrooms	25	G	9		
Countertops and Sinks					
Kitchen	25	G	9		
Bathrooms	25	G	9		
Appliances					
Refrigerator	15	G	1	RR	
Range/stove	20	G	4	RR	
Range vent	15	G	1		
Dishwasher	12	G	1	RR	
Disposal	10	G	1		
Microwave	12	G	1	RR	
Clothes washer					
Clothes dryer					
Bathroom fixtures					
Toilet	25	G	9		
Tub/shower and enclosures	25	G	9		
Accessories	25	G	9		

Section III: Repairs and Cost Estimates

Freddie Mac Loan Number TBD	Report Date February 1, 2024	Property name Garden Apartments
Seller/Service name TBD		Address 100 Main Street
Seller/Service number TBD	Inspection date January 15, 2024	City, State, Zip Anytown, ST 00000

Repairs Identification

Were any Critical or Priority Repairs identified? Yes No

Identify the area of the property where repairs needs were identified:

- Site
- Structural, building envelope and common area furniture, fixtures and equipment
- Mechanical and electrical
- Dwelling units

Were any Operational Repairs identified? Yes No

Critical and Priority Repairs

Site

Item	Repair Type	Unit of Measure	Quantity	Per Item Costs	Total Costs	Comments
Pedestrian paving/hardscape	PR-90	EA	2	\$300.00	\$600.00	
Subtotal					\$600.00	

Mechanical and electrical

Item	Repair Type	Unit of Measure	Quantity	Per Item Costs	Total Costs	Comments
Fire suppression	PR-90	EA	5	\$1,125.00	\$5,625.00	
Subtotal					\$5,625.00	

Total	\$6,225.00
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Section IV: Private Wells, Wastewater Treatment Systems and Lift Stations

Freddie Mac Loan Number TBD	Report Date February 1, 2024	Property name Garden Apartments
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Private Wells, Waste Water and Lift Stations

Indicate if any of the following systems are present at the property:

- Private wells (drinking water)
- Private wells (NON drinking water)
- Private wastewater treatment systems
- Private lift stations
- None of these systems are present

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Section V: Manufactured Housing Communities

Freddie Mac Loan Number TBD	Report Date February 1, 2024	Property name Garden Apartments
Seller/Service name TBD		Address 100 Main Street
Seller/Service number TBD	Inspection date January 15, 2024	City, State, Zip Anytown, ST 00000

Manufactured Housing Communities

Is the property a Manufactured Housing Community ("MHC"), or does it contain MHC units? Yes No

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Section VI: Capital Needs Over the Loan Term

Freddie Mac Loan Number TBD	Report Date February 1, 2024	Property name Garden Apartments	Building age 16
Seller/Service name TBD		Address 100 Main Street	Mortgage term 10+2
Seller/Service number TBD	Inspection date January 15, 2024	City, State, Zip Anytown, ST 00000	Number of units 36

Site																
Item	Quantity	Unit of Measure	Per Item Cost	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Total
Carports																
Garages																
Maintenance structures																
Trash enclosures																
Roadways/Parking lots																
Asphaltic concrete																
Seal coat	65000	EA	\$0.15			\$4,875.00					\$4,875.00					\$9,750.00
Concrete paving																
Other paving																
Striping																
Curb and gutter																
Interior gutter (swale)																
Pedestrian paving/hardscape																
Signage																
Site utilities																
Site water lines																
Site sanitary lines																
Site lighting																
Site drainage (storm drainage)																
Landscaping																
Irrigation																
Site fences																
Tennis courts																
Swimming pool and/or spa																
Pool and/or spa plaster/lining	1	EA	\$6,000.00							\$6,000.00						\$6,000.00
Pool and/or spa heating equipment																
Pool and/or spa filtration equipment	1	EA	\$450.00								\$450.00					\$450.00
Pool and/or spa deck surface																
Sauna																

Item	Quantity	Unit of Measure	Per Item Cost	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Total
Recreation/Play area and equipment																

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Garden Apartments

Building age
16

Seller/Service name
TBD

Address
100 Main Street

Mortgage term
10+2

Seller/Service number
TBD

Inspection date
January 15, 2024

City, State, Zip
Anytown, ST 00000

Number of units
36

Structural, building envelope and common area furniture, fixtures and equipment

Item	Quantity	Unit of Measure	Per Item Cost	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Total
Foundation (structural)																
Foundation (waterproofing)																
Building slab (structural)																
Exterior walls/roof (structural)																
Exterior walls (paint/finish)	36	EA	\$300.00				\$10,800.00									\$10,800.00
Doors and frames																
Windows and frames																
Stairs																
Fire escapes																
Balconies/handrails/guardrails																
Decks																
Patio slabs																
Unit fencing (patio fencing)																
Roof coverings	32000	EA	\$3.75									\$60,000.00	\$60,000.00			\$120,000.00
Roof drainage (gutters, drains, etc.)																
Building mounted lighting																
Common area improvements																
Common area floors	500	EA	\$1.50					\$750.00								\$750.00
Community facilities kitchen																
Community facilities appliances																
Community washing machines																
Community clothes dryers																

Freddie Mac Loan Number
TBD

Report Date
February 1, 2024

Property name
Garden Apartments

Building age
16

Seller/Service name
TBD

Address
100 Main Street

Mortgage term
10+2

Seller/Service number
TBD

Inspection date
January 15, 2024

City, State, Zip
Anytown, ST 00000

Number of units
36

Mechanical and electrical

Item	Quantity	Unit of Measure	Per Item Cost	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Total
Mechanical/Plumbing																
Hot and cold water distribution																
Domestic water boilers																
Domestic water boiler peripherals																
Domestic water heaters	29	EA	\$450.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$12,960.00
Domestic water pumps																
Sanitary waste and vent (sewer)																
Mechanical/HVAC																
Heating system	20	EA	\$1,575.00					\$3,829.00	\$3,827.00	\$3,827.00	\$3,827.00	\$3,827.00	\$3,827.00	\$3,827.00	\$3,827.00	\$30,618.00
Cooling system	20	EA	\$1,050.00					\$2,555.00	\$2,551.00	\$2,551.00	\$2,551.00	\$2,551.00	\$2,551.00	\$2,551.00	\$2,551.00	\$20,412.00
Electrical																
Building power/wiring																
Switchgear/metering																
Emergency lighting/generator																
Smoke and fire detection																
Buzzer/intercom (security)																
Fire suppression																
Elevators																
Security																

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Number of units
36

Dwelling units

Item	Quantity	Unit of Measure	Per Item Cost	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12	Total
Unit entry door(s) and frame(s)																
Patio doors																
Smoke/fire detection																
Buzzer/intercom (security)																
Window coverings																
Flooring																
Carpet	62	EA	\$750.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$3,825.00	\$45,900.00
Resilient flooring (vinyl)	29	EA	\$600.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$1,440.00	\$17,280.00
Cabinetry																
Kitchen																
Bathrooms																
Countertops and Sinks																
Kitchen																
Bathrooms																
Appliances																
Refrigerator	29	EA	\$450.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$1,080.00	\$12,960.00
Range/stove	20	EA	\$450.00					\$1,097.00	\$1,093.00	\$1,093.00	\$1,093.00	\$1,093.00	\$1,093.00	\$1,093.00	\$1,093.00	\$8,748.00
Range vent																
Dishwasher	36	EA	\$600.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$1,800.00	\$21,600.00
Disposal																
Microwave	36	EA	\$75.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$225.00	\$2,700.00
Clothes washer																
Clothes dryer																
Bathroom fixtures																
Toilet																
Tub/shower and enclosures																
Accessories																

TOTALS

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	Year 12
Total (uninflated)	\$9,450.00	\$9,450.00	\$14,325.00	\$20,250.00	\$17,681.00	\$22,921.00	\$17,371.00	\$21,796.00	\$76,921.00	\$76,921.00	\$16,921.00	\$16,921.00
Inflation factor @ 3.0%	100.00%	103.00%	106.09%	109.27%	112.55%	115.93%	119.41%	122.99%	126.68%	130.48%	134.39%	138.42%
Total Inflated	\$9,450.00	\$9,733.50	\$15,197.39	\$22,127.72	\$19,900.12	\$26,571.72	\$20,741.88	\$26,806.33	\$97,441.22	\$100,364.46	\$22,740.41	\$23,422.62

Total expenditures (uninflated)	\$320,928.00	Total expenditures per unit per year (uninflated)	\$742.89
Total expenditures (inflated)	\$394,497.38	Total expenditures per unit per year (inflated)	\$913.19

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1.0 EXECUTIVE SUMMARY

Summary Information

At the request of Sample Client Company, CREtelligent has performed a Property Condition Assessment (PCA) on the Garden Apartments property in Anytown, ST, hereinafter referred to as the "Subject Property". Salient property details are as follows:

Property Name	Garden Apartments
Property Address	100 Main Street,
City, State, Zip	Anytown, ST, 00000
Property Use	Multifamily Residential
Year Constructed	2008
Number of Parcels	2
Total Acreage	3.95
Number of Buildings	7
Number of Stories	2
Dwelling Units / Beds	36
Commercial Units	0
Gross Building Area	45700
Net Rentable Area	42384
Parking/Paving	Asphalt
Foundation Systems	Shallow systems with concrete slabs-on-grade
Structural Systems	Conventional wood framing
Roofing Systems	Asphalt composition shingles

HVAC Systems	Split systems
Fire Suppression	Wet-pipe sprinkler systems, fire extinguishers
Fire Alarm	Smoke detectors in dwelling units

Overall Condition

Within the prescribed scope of this assessment, and as of the date and time of the site visit, the Subject Property appears to be in good overall condition. The overall level of preventative maintenance appears to be adequate. Identified physical deficiencies, suggested remedies, and opinions of cost are detailed below in Section 3.0, Property Characteristics. Recent, ongoing, and proposed capital improvements are discussed below in Section 6.0, Areas of Additional Assessment.

Recommendations for Additional Investigation

CREtelligent makes no recommendations for additional investigation at this time.

Property Remaining Useful Life

Unless noted otherwise, the Subject Property appears to be performing within reasonable expectations of intended service. Assuming systems and components are maintained in accordance with manufacturer's guidelines and/or accepted industry standards, and barring exposure to natural disaster, the remaining useful life of the Subject Property is estimated at not less than 35 years. This opinion is based solely on observations made during our assessment, which was performed within the scope of the ASTM E2018-24 Standard.

Purpose and Scope

The purpose of this assessment is to observe and report, to the extent feasible pursuant to the scope of work, on the physical condition of the Subject Property. This includes an effort to identify both a) material defects which appear, if left uncorrected, to pose an immediate threat to occupant safety or proper facility operations, and b) systems, components, and equipment whose maintenance and replacement, or lack thereof, could significantly affect facility operating and financial performance over a specified evaluation period.

This assessment was performed in accordance with American Society for Testing and Materials (ASTM) E 2018-24: *Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process* and the Freddie Mac Multifamily Seller/Service Guide, Chapter 62: *Property Condition Report Requirements*, and is subject to the limitations and scope considerations contained within the ASTM Standard.

Deviations from the ASTM E2018 Standard

At client request, this assessment has included procedures from the Freddie Mac Multifamily Seller/Servicer Guide, Chapter 62, which are not part of the ASTM E2018 Standard.

User Reliance

This investigation was conducted on behalf of Sample Client Company (Client). This report, and the findings contained herein, shall not, in whole or in part, be disseminated or conveyed to or used by any other party without the prior written consent of CREtelligent. Any unauthorized party using or relying upon this Report shall be liable to CREtelligent for equitable compensation and appropriate punitive damages, and shall be responsible to reimburse CREtelligent for and indemnify, defend, and hold CREtelligent harmless from and against any and all costs, claims, liabilities, expenses, lost profits, and damages arising as a direct or indirect result of such unauthorized use or reliance.

This report is for the use and benefit of, and may be relied upon by:

- a. the Seller/Servicer, Freddie Mac and any successors and assigns (“Lender”);
- b. independent auditors, accountants, attorneys and other professionals acting on behalf of Lender;
- c. governmental agencies having regulatory authority over Lender;
- d. designated persons pursuant to an order or legal process of any court or governmental agency;
- e. prospective purchasers of the Mortgage; and
- f. with respect to any debt (or portion thereof) and/or securities secured, directly or indirectly, by the Property which is the subject of this report, the following parties and their respective successors and assigns:
 - any placement agent or broker/dealer and any of their respective affiliates, agents and advisors;
 - any initial purchaser or subsequent holder of such debt and/or securities;
 - any Servicer or other agent acting on behalf of the holders of such debt and/or securities;
 - any indenture trustee;
 - any rating agency; and
 - any institutional provider from time to time of any liquidity facility or credit support for such financings.

In addition, this report, or a reference to this report, may be included or quoted in any offering circular, information circular, offering memorandum, registration statement, private placement memorandum, prospectus or sales brochure (in either electronic or hard copy format) in connection with a securitization or transaction involving such debt (or portion thereof) and/or securities.

2.0 SITE RECONNAISSANCE

Site Visit Details

Site Visit Date	January 15, 2024		
Weather Conditions	Clear with temperature around 52° Fahrenheit		
Site Assessor	Amanda Assessor		
Site Escort	Edward Escort	Years with Subject Property	15.0
	Facility Manager, Property Management Company	Cooperative	✓
	999-555-0000	Knowledgeable	✓

Limiting Conditions

The performance of this assessment was limited by conditions beyond CREtelligent's control, as follows:

- The surveyed tenant areas were selected based on availability and tenant cooperation. CREtelligent presumes that observed conditions are representative of those to be found throughout the Subject Property.
- Pitched roofs were not accessed due to safety concerns.
- A Pre-Survey Questionnaire was not returned prior to the site visit.

3.0 PROPERTY CHARACTERISTICS

General Property Description

The Subject Property is improved with 5, 2-story apartment buildings. The buildings include 36 units that total approximately 42384 square feet. The Subject Property was developed in 2008. Additional improvements include a single-story leasing office/clubhouse, a single-story laundry building, seven garage buildings, one maintenance building, an outdoor pool, playground equipment, paved drive aisles and parking areas, concrete sidewalks, and landscaped areas.

3.1 Site Components

3.1.1 Site Configuration and Size

Parcel Details	The Subject Property is made up of 2 parcels covering a reported total of 3.95 acres.
Parcel Configuration	The parcels are irregularly shaped. The several parcels are contiguous.
Local Topography	Terrain is level to gently rolling. The Subject Property slopes west.
Natural Water Bodies	Not applicable
Other	Not applicable

3.1.2 Site Grading, Drainage, and Landscaping

OBSERVATIONS			
Site Grading	Engineered grades facilitate storm drainage and allow for differences in ground floor and parking lot elevations.	Good	Routine Maint
Storm Water Drainage	Storm water is directed via sheet flow to catch basins and curb inlets connected by underground piping.	Good	Routine Maint
Detention/Retention	Not applicable		
Landscaping	Trees, shrubs, grassed areas, and planting beds are present throughout the site.	Good	Routine Maint
Irrigation Systems	Planting beds near the leasing office are irrigated by drip systems.	Good	Routine Maint
CONSIDERATIONS			
Erosion	No evidence of erosion was observed.		
Ponding	No evidence of stormwater ponding or silt collection was observed.		
Drainage Channels	Drainage channels appeared to be generally clear of debris.		
Storm Water Discharge	Storm water discharges into a municipal storm water management system.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.1.3 Site Utilities

Primary Utility Systems

OBSERVATIONS			
Electricity	Local Electric Utility	Good	Routine Maint
Natural Gas	Not applicable		
Propane	Not applicable		
Fuel Oil	Not applicable		
Domestic Water	Local Water/Sewer District	Good	Routine Maint
Sanitary Sewer	Local Water/Sewer District	Good	Routine Maint
Storm Sewer	Storm water discharges into a municipal system.	Good	Routine Maint
Cable/Internet	Tenant choice; multiple types and providers available.	Good	Routine Maint
CONSIDERATIONS			
Electrical Meters	Dwelling units are individually metered. Meters are located on the exterior walls of the buildings.		
Electrical Service	Electrical service is provided via underground lines from pad-mounted transformers.		
Natural Gas Meters	Not applicable		
Water Meters	Separate buildings are individually metered. Meters are located in underground vaults.		
Water Pipe Material	Underground water pipe material could not be ascertained.		
Sanitary Pipe Material	Underground sanitary pipes were reported to be PVC.		
Pipe Breaks/Leaks	No history of pipe breaks or leaks was reported.		
Internet Speed	Speed varies based on tenant choice of provider and service level		
Other	Not applicable		

COMMENTS

Components were reported to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

Special Utility Systems

Special Utility Systems are not present at the Subject Property.

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3.1.4 Site Access, Parking, Paving, and Curbing

OBSERVATIONS			
Ingress/Egress	Vehicle ingress/egress is via a single driveway from Main Street.	Good	Routine Maint
Primary Paving	Asphalt	Good	Reserves
Secondary Paving	Cast-in-place concrete at dumpster enclosure	Good	Routine Maint
Curbing	Cast-in-place concrete	Good	Routine Maint
Access Control	Vehicular access control is not provided.		
CONSIDERATIONS			
Parking Count	72 total spaces, including 8 accessible spaces		
Open Parking	72 total spaces, including 8 accessible spaces		
Covered Parking	Not applicable		
Garage Parking	Not applicable		
Structured Parking	Not applicable		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Asphalt seal coat and striping is anticipated during the evaluation period. An opinion of cost for this work is included in the Reserves.

3.1.5 Flatwork and Pedestrian Paving

OBSERVATIONS			
Pedestrian Walkways	Cast-in-place concrete	Fair	PR-90
Steps and Ramps	Site slopes are gentle; steps and ramps were not observed.		
Pool Decks	Cast-in-place concrete	Good	Routine Maint
Unit Patios	Cast-in-place concrete	Good	Routine Maint
CONSIDERATIONS			
Municipal Walkways	Municipal walkways are not present in the vicinity of the Subject Property.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

Areas of vertical displacement, creating potential trip hazards, were observed near Buildings A and D. Immediate repair is recommended. This work is included in the Cost Schedules as a PR-90 Repair Item. After repairs are completed, routine monitoring and maintenance are anticipated during the evaluation period.



Vertical displacement at Building A



Vertical displacement at Building D

3.1.6 Site Lighting and Signage

OBSERVATIONS			
Site Lighting	Pole-mounted lighting is located around parking lots and along drive lanes.	Good	Routine Maint
Building Lighting	Building-mounted lighting was not observed.	Good	Routine Maint
Unit Lighting	Wall-mounted fixtures are present beside entry and balcony/patio doors.	Good	Routine Maint
Site Signage	Monument signage is located at vehicular entrances.	Good	Routine Maint
Building/Unit Signage	Unit signage is mounted on unit entry doors.	Good	Routine Maint
CONSIDERATIONS			
Lighting Controls	Site and building lighting are reportedly controlled by photocells and timers. Unit exterior lighting is controlled by tenant-operated switches.		
Timing of Site Visit	The site visit was conducted during daylight hours; lighting operation was not directly observed.		
Lighting Adequacy	Based on number and location of fixtures, lighting is presumed to be adequate.		
Other	Not applicable		
COMMENTS			

Components were reported to vary in age and are repaired or replaced as needed.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.1.7 Site Fencing and Retaining Walls

OBSERVATIONS			
Perimeter Fencing	Perimeter fencing was not observed.		
Enclosure Fencing	Vinyl panel fencing is located at the pool and playground areas.	Good	Routine Maint
Patio/Privacy Fencing	Vinyl panel fencing is located at dwelling unit patios.	Good	Routine Maint
Retaining Walls	Retaining walls were not observed.		
CONSIDERATIONS			
Access Gates	Observed access gates had positive locking mechanisms. Observed access gates allowed opening in the direction of exit travel.		
Wall Settlement	Not applicable		
Wall Overturning	Not applicable		
Other	Not applicable		
COMMENTS			

Components were reported to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.1.8 Site Amenities

OBSERVATIONS			
Leasing Building	Freestanding building located along the entry drive at the west end of the site	Good	Routine Maint
Clubhouse Building	Not applicable		
Swimming Pools	One in-ground pool located on the north side of the leasing office building	Good	Routine Maint
Spas	Not applicable		
Pool/Spa Equipment	Filtration/circulation equipment is located in an adjacent utility room	Good	Reserves
Playgrounds	Play equipment located in a fenced enclosure to the west of the leasing office building	Good	Routine Maint
Picnic Areas	Picnic area with gazebo located between the leasing office building and the playground area	Good	Routine Maint
Sport Courts	Concrete-surfaced basketball court located across the drive lane from the leasing office building	Good	Routine Maint
Other	A pool house with restrooms is located along the north side of the pool deck	Good	Routine Maint
CONSIDERATIONS			
Pool/Spa Deck	Concrete with a broom finish		
Pool/Spa Equipment	Filtration/circulation equipment is located in an adjacent utility room.		
Pool/Spa Drainage	Drainage appeared to comply with VGB Act requirements.		
Laundry Equipment	Not applicable		
Other	Not applicable		
COMMENTS			

Components were reported to vary in age and are repaired or replaced as needed.

No deficiencies or immediate needs were noted. Pool relining and filtration and circulation equipment replacement are anticipated during the evaluation period. Opinions of cost for this work are included in the Reserves.

3.2 Structural Frame and Building Envelope

Building Structures

The Subject Property is improved with 5 apartment buildings that are 2 stories in height. Additional built improvements include a single-story leasing office/clubhouse building, an outdoor pool with pool house, a playground and picnic area, paved drive aisles and parking areas, concrete sidewalks, and landscaped areas. Ground-level floors are generally above grade with respect to their immediate surroundings.

According to County records, the Subject Property was developed in 2008.

CREtelligent viewed the exteriors of all buildings at the Subject Property.

3.2.1 Substructure/Foundations

OBSERVATIONS			
Information Source	Experience with similar structures in this geographic region		
Foundation System	Shallow with turned-down slab edges	Good	Routine Maint
CONSIDERATIONS			
Site Grades	Site grades at exterior walls appeared to slope away from the building foundations.		
Movement/Distress	No evidence of foundation movement or distress was observed.		
Water Intrusion	No evidence of moisture or water intrusion was observed.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

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3.2.2 Superstructure/Framing

OBSERVATIONS			
Wall Framing	Conventional wood studs	Good	Routine Maint
Interior Framing	Conventional wood studs	Good	Routine Maint
Floor Framing	Wood joists with plywood/OSB decking	Good	Routine Maint
Roof Framing	Wood trusses with plywood/OSB decking	Good	Routine Maint
CONSIDERATIONS			
Wall Cracking	No evidence of wall cracking was observed.		
Floor Settlement	No evidence of floor settlement was observed.		
Fire Retardant Wood	Fire retardant treated wood was not observed.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.2.3 Building Cladding

3.2.3.1 Exterior Wall Finishes

OBSERVATIONS			
Primary Finish	Painted fiber cement siding	Good	Reserves
Accent Finishes	Brick veneer	Good	Routine Maint
Soffits and Trim	Painted fiber cement board	Good	Routine Maint
CONSIDERATIONS			
Composite Siding	Not applicable		
EIFS	Not applicable		
Graffiti/Vandalism	No evidence of graffiti or vandalism was observed.		
Insulation	The presence of wall insulation is presumed; no additional information was available.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Exterior cleaning, painting, sealing and as-needed masonry pointing is anticipated during the evaluation period. An opinion of cost for this work is included in the Reserves.

3.2.3.2 Windows

OBSERVATIONS			
Type/Operation	Vertical sliding (single-hung/double-hung)	Good	Routine Maint
Glazing	Insulating glass	Good	Routine Maint

Frame Material	Vinyl	Good	Routine Maint
CONSIDERATIONS			
Glazing Seals	No evidence of failed glazing seals was observed.		
Caulks/Sealants	Observed caulks and sealants appeared flexible and uniform, filling joints completely.		
Weatherstripping	Observed windows were fitted with weatherstripping.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.2.3.3 Doors

OBSERVATIONS			
Main Entry Doors	Metal doors with lever handles and deadbolts	Good	Routine Maint
Service Doors	Metal doors with knob handles and deadbolts	Good	Routine Maint
Unit Entry Doors	Metal doors with lever handles and deadbolts	Good	Routine Maint
Patio/Balcony Doors	Metal French doors with lever hardware and deadbolts	Good	Routine Maint
CONSIDERATIONS			
Operation	Observed doors swung freely and latched securely.		
Weatherstripping	Observed doors were fitted with weatherstripping and sweeps.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

Facade Inspection

Source: FacadeOrdinance.com, an informational website maintained by Wiss, Janney, Elstner Associates, Inc.

The Subject Property is not located in a jurisdiction with facade inspection requirements.

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3.2.4 Building Appurtenances

OBSERVATIONS			
Exterior Stairs	Steel framed with precast concrete treads and closed risers	Good	Routine Maint
Exterior Breezeways	Wood structure, concrete over plywood decking	Good	Routine Maint
Balconies	Post-supported, wood structure, concrete over plywood decking	Good	Routine Maint
Railings	Vinyl	Good	Routine Maint
CONSIDERATIONS			
Path Obstructions	Observed egress paths were free of obstructions.		
Railing Security	Observed railings appeared to be stable and firmly anchored.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.2.5 Roof Systems

Configuration	Pitched (2:12 to 8:12)
Means of Access	Not applicable
Tenant Access	Not applicable

3.2.5.1 Roof Coverings

OBSERVATIONS			
Primary Roofing	Asphalt shingles, architectural (dimensional)	Good	Reserves
Flashings	Metal	Good	Routine Maint
CONSIDERATIONS			
Warranties	Warranty information was not made available.		
Insulation	Blown insulation, presumed to be original to construction, was reported in attic spaces.		
Leaks	Evidence of active roof leaks was not observed. No active roof leaks were reported.		
Equipment Mounting	Roof-mounted equipment is not present.		
Roof Color	Primary roofing is gray in color.		
Green Technologies	Not applicable		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Replacement of asphalt shingle roofing is anticipated during the evaluation period. An opinion of cost for this work is included in the Reserves.

3.2.5.2 Roof Drainage

OBSERVATIONS			
Primary Drainage	Gutters and downspouts	Good	Routine Maint
Primary Discharge	At grade	Good	Routine Maint
CONSIDERATIONS			
Surface Discharge	Surface discharge is directed away from the buildings.		
Ponding	Not observed		
Debris	Not observed		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.3 Mechanical/Electrical/Plumbing Components

3.3.1 Plumbing and Domestic Hot Water Systems

3.3.1.1 Water Distribution and Domestic Hot Water

OBSERVATIONS			
Water Pipe Material	Copper (observed)	Good	Routine Maint
Gas Pipe Material	Not applicable		
Hot Water Source	Individual electric tank-type units, manufactured by Rheem, typical 40-gallon capacity	Good	Reserves

CONSIDERATIONS	
Galvanized Pipe	
Polybutylene Pipe	Polybutylene pipe was neither observed nor reported.
Pipe Insulation	Observed domestic hot water lines were not insulated.
Other	Not applicable
COMMENTS	

Components were reported to vary in age and are repaired or replaced as needed.

No deficiencies or immediate needs were noted. Replacement of water heaters is anticipated during the evaluation period. An opinion of cost for this work is included in the Reserves.

3.3.1.2 Sanitary Waste and Vent

OBSERVATIONS			
Waste Pipe Material	PVC (reported)	Good	Routine Maint
CONSIDERATIONS			
ABS Waste Pipe	ABS waste pipe was neither observed nor reported.		
Other	Not applicable		
COMMENTS			

Components were reported to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.3.2 Heating, Ventilation, and Air Conditioning

3.3.2.1 Heating and Cooling Systems

OBSERVATIONS			
Primary System	Split Systems		
Auxiliary System	Not applicable		
Split Systems	Observed units were manufactured by ICP. Capacities range from 1.5 to 3 tons.	Good	Reserves
Controls	Local thermostats	Good	Routine Maint
CONSIDERATIONS			
Air Distribution	Air distribution (supply and return) is via concealed ductwork.		
Refrigerants	No use of CFC (R12, etc.) or HCFC (R22, etc.) refrigerants was identified.		
	The use of HFC (R410a, etc.) refrigerants was identified.		
Energy Star Labels	Energy Star labels were not observed.		
Thermostats	Thermostats are programmable but have reportedly not been programmed for efficiency.		
Cadet Wall Heaters	Not applicable		
Other	Not applicable		
COMMENTS			

Observed components appeared to vary in age and are presumably repaired or replaced as needed.

No deficiencies or immediate needs were noted. Replacement of split system condensing units is anticipated during the evaluation period. The use of HFC refrigerants is being phased out. In order to facilitate transition to A2L refrigerants, replacement of furnace units will also be required. Opinions of cost for this work are included in the Reserves.

3.3.2.2 Ventilation Systems

OBSERVATIONS			
Active Systems	Bathroom fans	Good	Routine Maint
Passive Systems	Operable windows	Good	Routine Maint
Controls	Manual wall switches	Good	Routine Maint
CONSIDERATIONS			
Smoke Free Facility	Smoking is reportedly allowed in dwelling units but not in public or common use areas.		
Other	Not applicable		
COMMENTS			

Components were reported to vary in age and are repaired or replaced as needed.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.3.3 Electrical Service

OBSERVATIONS			
Unit Service Ratings	120/240-volt, single-phase, 125 amp	Good	Routine Maint
Overload Protection	Circuit breakers (subpanels labeled)	Good	Routine Maint
CONSIDERATIONS			
Wiring Material	Branch wiring was observed to be copper in Unit C2.		
Amperage Rating	Unit service is greater than 60 amps.		
GFCI Protection	GFCI protection (outlets/breakers) was observed on circuits serving kitchens and bathrooms.		
Stab-Lok Panels	Stab-Lok panels were not observed.		
Other	Not applicable		
COMMENTS			

Observed components appeared to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.3.4 Fire Protection and Life Safety Systems

3.3.4.1 Fire Suppression Systems

OBSERVATIONS			
Sprinkler System	Wet-pipe automatic system in each building	Good	Routine Maint
Sprinkler Inspection	November 2022	Poor	PR-90
Fire Extinguishers	Portable fire extinguishers are located in the leasing office/ clubhouse building at at apartment building breezeways	Good	Routine Maint
Fire Extinguisher Inspection	June 2023	Good	Routine Maint
Fire Hydrants	Fire hydrants are located along drive aisles		
CONSIDERATIONS			
Sprinkler Heads	Spare sprinkler heads were not observed; manufacturers could not be determined.		
Other	Not applicable		
COMMENTS			

Components were reported to be original to the construction of the facility.

Expired inspection tags were observed on the fire sprinkler risers. Immediate inspection and certification of all fire sprinkler systems is recommended. This work is included in the Cost Schedules as a PR-90 Repair Item. After repairs are completed, routine monitoring and maintenance are anticipated during the evaluation period.

3.3.4.2 Fire Alarm Systems

OBSERVATIONS			
Smoke Detectors	Hardwired, located in bedrooms and outside sleeping areas	Good	Routine Maint

Carbon Monoxide Detectors	Not present in the dwelling units entered		
CONSIDERATIONS			
Central System Inspection	Not applicable		
Carbon Monoxide Exposure	Interior areas are not exposed to byproducts from wood or fossil fuel combustion. Carbon monoxide detectors are not required.		
Other	Not applicable		
COMMENTS			

Components were reported to vary in age and are repaired or replaced as needed.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.3.4.3 Additional Systems

OBSERVATIONS			
Emergency Lighting	Wall-mounted, battery-operated fixtures in the leasing office/ clubhouse building	Good	Routine Maint
Exit Signage	Illuminated signs at exits and along egress paths in the leasing office/clubhouse building	Good	Routine Maint
CONSIDERATIONS			
Other	Not applicable		
COMMENTS			

Components were reported to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.3.5 Vertical Transportation

Vertical transportation systems are not present at the Subject Property.

3.4 Interiors

3.4.1 Common Areas

3.4.1.1 Common Use Areas

Common use areas at the Subject Property consist of the leasing office and associated restrooms.

OBSERVATIONS			
Walls	Painted gypsum board	Good	Routine Maint
Ceilings	Painted gypsum board	Good	Routine Maint
Floor Finish 1	Carpet at offices	Fair	Reserves
Floor Finish 2	Vinyl plank at restrooms and reception areas	Good	Routine Maint
Interior Doors	Masonite panel in wood frames	Good	Routine Maint
CONSIDERATIONS			
Fixtures/Furnishings	Furnishings include desks, task chairs, and filing cabinets in offices and lounge seating and side tables in reception areas.		
Equipment	Equipment includes computers, printers, and phones.		
Other	Not applicable		
COMMENTS			

Components were reported to vary in age and are repaired or replaced as needed.

No deficiencies or immediate needs were noted. Replacement of office area carpet is anticipated during the evaluation period. An opinion of cost for this work is included in the Reserves.

3.4.1.2 Facility Support Areas

Facility support areas are not present at the Subject Property.

3.4.1.3 Amenity Areas

A community room with kitchen is located in the leasing office building. The community room has access to the common use restrooms associated with the leasing office.

OBSERVATIONS			
Walls	Painted gypsum board	Good	Routine Maint
Ceilings	Painted gypsum board	Good	Routine Maint
Floor Finish 1	Carpet in the community room area	Good	Routine Maint
Floor Finish 2	Sheet vinyl in the kitchen area	Good	Routine Maint
Interior Doors	Masonite panel in wood frames	Good	Routine Maint
Kitchen Cabinets	Wood veneer	Good	Routine Maint
Kitchen Countertops	Plastic laminate	Good	Routine Maint
Kitchen Appliances	Refrigerator, range, range hood, garbage disposal	Good	Routine Maint
CONSIDERATIONS			
Fixtures/Furnishings	The community room is furnished with tables, chairs, a television, and lounge furniture.		
Equipment	Not applicable		
Other	Not applicable		
COMMENTS			

Components were reported to vary in age and are repaired or replaced as needed.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.4.2 Commercial Tenant Areas

Commercial tenant areas are not present at the Subject Property.

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3.4.3 Dwelling Units

Per the Rent Roll dated December 31, 2023, the Subject Property dwelling unit mix is as follows:

BR	BA	Occ	Vacant	Down	Reno	Non-Rev	Total
1	1	15	1	0	0	0	16
2	1	19	1	0	0	0	20
Totals		34	2	0	0	0	36

Surveyed dwelling units were selected based on availability and tenant cooperation. CREtelligent presumes that observed conditions are representative of those to be found throughout the Subject Property.

CREtelligent surveyed approximately 11% of the dwelling units, including 50% of all vacant units. No down units were reported. Surveyed dwelling units were selected by the consultant.

Unit ID	Bldg	Floor	BR	BA	Condition	Status	Count
A5	A	2	1	1	Unfurnished	Occupied	2
B7	B	2	2	1	Unfurnished	Occupied	2
C2	C	1	2	1	Unfurnished	Vacant	2
D8	D	2	1	1	Unfurnished	Occupied	2

3.4.3.1 Dwelling Unit Finishes

OBSERVATIONS			
Walls	Painted gypsum board	Good	Routine Maint
Ceilings	Painted gypsum board	Good	Routine Maint
Floor Finish 1	Carpet at living areas and bedrooms	Good	Reserves
Floor Finish 2	Sheet vinyl at kitchens and bathrooms	Good	Reserves

Interior Doors	Masonite panel in wood frames	Good	Routine Maint
CONSIDERATIONS			
Problem Drywall	Moderate probability - major construction took place between 2001 and 2009.		
	No evidence of problem drywall was observed. Problem drywall is not suspected.		
Window Treatments	Window treatments are not provided.		
Furnishings	Furnishings are not provided.		
Other	Not applicable		
COMMENTS			

Observed components appeared to vary in age and are presumably repaired or replaced as needed.

No deficiencies or immediate needs were noted. Replacements of carpet and sheet vinyl are anticipated during the evaluation period. Opinions of cost for this work are included in the Reserves.

3.4.3.2 Dwelling Unit Cabinets, Countertops, and Sinks

OBSERVATIONS			
Cabinets	Wood veneer	Good	Routine Maint
Countertops	Plastic laminate	Good	Routine Maint
Kitchen Sink	Stainless steel, drop-in	Good	Routine Maint
CONSIDERATIONS			
Maintenance	Property management elects to refinish components unless replacement is necessary.		
Water Conservation	Devices (aerators, low flow fixtures) were not observed.		
Other	Not applicable		
COMMENTS			

Components were reported to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

3.4.3.3 Dwelling Unit Appliances

OBSERVATIONS							
Refrigerator	✓	Dishwasher	✓	Garbage Disposal	✓	Good	Reserves
Electric Range	✓	Gas Range		Range Hood	✓		
Built-in Microwave		Counter Microwave	✓	Other			
Washer and Dryer		Stack Washer/Dryer		Other			
CONSIDERATIONS							
EnergyGuide	EnergyGuide labels are presumably removed during new equipment installation.						
Energy Star	ENERGY STAR labels were observed on most appliances.						
Laundry Hookups	Laundry hookups are provided; equipment is supplied by tenants.						
Recalled Appliances	Not applicable						
Other	Not applicable						
COMMENTS							

Observed components appeared to vary in age and are presumably repaired or replaced as needed.

No deficiencies or immediate needs were noted. Appliance replacements are anticipated during the evaluation period. Opinions of cost for this work are included in the Reserves.

3.4.3.4 Dwelling Unit Bathroom Fixtures

OBSERVATIONS			
Bathroom Sink	Vanity-style, porcelain drop-in	Good	Routine Maint
Vanity Top	Plastic laminate	Good	Routine Maint
Vanity Cabinet	Wood veneer	Good	Routine Maint
Shower/Tub	One-piece fiberglass/acrylic unit	Good	Routine Maint
Toilet	Floor mounted, tank-type	Good	Routine Maint
CONSIDERATIONS			
Maintenance	Property management elects to refinish components unless replacement is necessary.		
Water Conservation	Devices (aerators, low flow fixtures) were observed in the dwelling units surveyed.		
Other	Not applicable		
COMMENTS			

Components were reported to be original to the construction of the facility.

No deficiencies or immediate needs were noted. Routine monitoring and maintenance are anticipated during the evaluation period.

4.0 MOISTURE AND MICROBIAL GROWTH / PEST MANAGEMENT

4.1 Moisture and Microbial Growth

As part of this work CREtelligent performed a limited moisture and microbial growth survey, as follows:

- Observed for visual and olfactory evidence of microbial growth
- Made inquiries regarding current moisture intrusion or any known microbial growth issues
- Made inquiries regarding tenant complaints pertaining to mold or microbial growth
- Viewed all areas reported and observed to have moisture intrusion, mold, or microbial growth
- Endeavored to identify any defective or problematic material that may result in water intrusion

CREtelligent inquired if a Moisture Management Plan was in place, and if so requested a copy for review.

CONSIDERATIONS	
Suspect Growth	No visual or olfactory evidence of suspect microbial growth was observed.
Affected Area(s)	Not applicable
Problem Conditions	Not applicable
Management Plan	A Moisture Management Plan is reportedly in place. A copy was not provided for review.
Other	Not applicable
COMMENTS	

No further action is recommended at this time.

4.2 Pest Management

As part of this assessment CREtelligent performed a limited visual survey for the conspicuous presence of pests, and for evidence of wood destroying organisms (WDO). CREtelligent also inquired if a pest management plan is in place and if the Subject Property is routinely inspected/treated for termites.

CONSIDERATIONS	
Presence of Pests	No evidence of the conspicuous presence of pests was observed.
Management Plan	A Pest Management Plan was reportedly not in place.
Evidence of WDO	No evidence of wood destroying organisms was observed.
Inspection/Treatment	Management reported that the Subject Property is routinely inspected. Copies of recent inspection reports were not provided for review.
Other	Not applicable
COMMENTS	

No further action is recommended at this time.

5.0 SPECIAL HAZARDS, CODE VIOLATIONS, AND REGULATORY COMPLIANCE

5.1 Special Hazards

5.1.1 Peak Ground Acceleration (PGA)

Peak Ground Acceleration (PGA) is calculated using the Unified Hazard Tool from the U.S. Geological Survey, edition "Dynamic: Conterminous U.S. 2014 (update)(4.2.0)" and site-specific location and Site Class data.

Spectral Period	Site Class	Time Horizon	Finding
PGA	760 m/s (B/C boundary)	10% in 50 years	0.0534g
The PGA is less than 0.15g. No further action is required at this time.			

5.1.2 Wind

Wind zone data is taken from the map "Wind Zones in the United States", 2018 edition, published by the Federal Emergency Management Agency (FEMA).

Wind Zone	Design Wind Speed	Special Wind Region	Hurricane Susceptible Region
IV	250 mph	No	No

5.1.3 Flood Zone

Flood zone data is taken from available Flood Insurance Rate Map (FIRM) panels, which are maintained by FEMA to support the National Flood Insurance Program (NFIP) and community floodplain management efforts.

Panel Number	Effective Date	Flood Zone	Hazard Level
01234X0123X	June 5, 2015	X (unshaded)	Minimal Risk

5.2 Zoning and Regulatory Compliance

5.2.1 Zoning

PLANNING/ZONING DEPARTMENT		
Anycounty Development Office		No violations reported
Zoning Officer	zoning@anycounty.com	
Based on a review of online GIS information, the Subject Property is zoned R-5, Multifamily.		

5.2.2 Building and Fire Codes

BUILDING DEPARTMENT		
Anytown Permit Office		No response received
Permit Officer	permits@anytown.com	
No response received as of the issue date of this report.		
FIRE DEPARTMENT		
Anytown Fire Department		No violations reported
Fire Marshal	fire@anytown.com	

5.2.3 Americans with Disabilities Act (ADA)

The 1990 Americans with Disabilities Act (ADA) is a federal civil rights law that prohibits discrimination against people with disabilities in everyday activities. Title III of the ADA addresses removal of architectural and communication barriers in places of public accommodation (most business that are generally open to the public) and commercial facilities (privately owned, non-residential facilities). The obligation to remove such barriers, where readily achievable, is an ongoing one. Revised and updated design standards were published by the Department of Justice in 2010.

As part of this assessment, CREtelligent has conducted a limited, visual, accessibility survey, which excludes taking of measurement or counts. The scope of the survey was limited to evaluating general compliance with the 2010 Standards. Our observations were limited to those areas and spaces at the Subject Property accessed in the course of performing this Property Condition Assessment as a whole.

CONSIDERATIONS	
History	No readily apparent barriers
Parking	No readily apparent barriers
Exterior Accessible Route	No readily apparent barriers
Building Entrances	No readily apparent barriers
Interior Accessible Routes and Amenities	No readily apparent barriers
Interior Doors	No readily apparent barriers
Elevators	Not applicable
Toilet Rooms	No readily apparent barriers
Hospitality Guestrooms	Not applicable
COMMENTS	

No readily apparent barriers to accessibility were identified.

5.2.4 Fair Housing Amendments Act (FHAA)

Buildings that contain four or more dwelling units, if designed and constructed for first occupancy after March 13, 1991, and regardless of whether the work was publicly or privately funded, must comply with the provisions of the federal Fair Housing Amendments Act (FHAA) and its seven design requirements for site, building, and dwelling unit accessibility. Multi-level units (townhouses) and upper-level apartments accessible only by stairs are exempt.

As part of this assessment, CREtelligent has conducted a limited, visual, accessibility survey, which excluded taking of measurement or counts. The scope of the survey was limited to determining general conformance with FHAA design requirements. Our observations were limited to those areas and spaces at the Subject Property accessed in the course of performing this Property Condition Assessment as a whole.

CONSIDERATIONS	
History	No readily apparent barriers
Requirement 1 - Accessible Routes; Site	No readily apparent barriers
Requirement 2 - Accessible Common Areas	No readily apparent barriers
Requirement 3 - Usable Doors	No readily apparent barriers
Requirement 4 - Accessible Routes; Covered Units	No readily apparent barriers
Requirement 5 - Environmental Controls; Covered Units	No readily apparent barriers
Requirement 6 - Reinforced Walls; Covered Units	No readily apparent barriers
Requirement 7 - Usable Kitchens/Bathrooms; Covered Units	No readily apparent barriers
COMMENTS	

No readily apparent barriers were identified.

6.0 AREAS OF ADDITIONAL ASSESSMENT

6.1 Historical Repairs and Replacements, Work in Progress, and Planned Capital Improvements

HISTORICAL REPAIRS AND REPLACEMENTS	
None reported	
WORK IN PROGRESS	
None reported	
PLANNED CAPITAL IMPROVEMENTS	
None reported	

7.0 REFERENCES, PROCEDURES, AND LIMITATIONS

References

Interviews

Individuals knowledgeable about the Subject Property were interviewed as part of this assessment. Information gained from these interviews has been incorporated into the appropriate sections of this report.

Site Escort	Edward Escort	Years with Subject Property	15.0
	Facility Manager, Property Management Company	Cooperative	✓
	999-555-0000	Knowledgeable	✓

Documentation

Prior to the site visit, CREtelligent forwarded a Pre-Survey Questionnaire and written request for documentation to the designated property contact or owner's representative. A completed copy of the Questionnaire was returned.

Information in the completed Questionnaire aligned generally with other documents and site observations.

The following documents were provided to CREtelligent, or were found to be readily available via standard research practices, and have been referenced as appropriate as part of this assessment:

County Tax Assessor property information	Obtained via Research
County Zoning map and ordinance	Obtained via Research
Rent roll, dated December 31, 2024	Provided
Existing Operations and Maintenance plans	Provided
Property information typically provided to new residents	Provided

Methodologies

Assessment

This assessment was performed in accordance with the American Society for Testing and Materials (ASTM) E 2018-24: Baseline Property Condition Assessment Process and the Fannie Mae scope of work for Property Condition Assessment, "Instructions for Performing a Multifamily Property Condition Assessment", Form 4099, and is subject to the limitations and scope considerations contained within the ASTM Standard. The specific scope included the following:

Documentation Review and Interviews – The objective of the document review and interviews is to augment the walk-through survey and to assist CREtelligent in its understanding of the Property and its identification of physical deficiencies. CREtelligent will review readily available records or documents to specifically identify, or assist in the identification of, physical deficiencies, as well as any preceding or ongoing efforts, or costs to investigate or remediate the physical deficiencies, or a combination thereof. CREtelligent will attempt to review information such as Certificates of Occupancy (COs), outstanding and recorded building and fire code violations, property-maintained maintenance records, inspection reports, and warranties. This assessment, however, is not to be considered a regulatory or code compliance audit of the facility.

A property questionnaire will be provided to the Property owner and/or owner's representative. The questionnaire will ask about general property information as well as specific questions regarding known code violations and the condition of the substructure, superstructure and roofs of all improvements, interior finishes, mechanical, electrical and plumbing elements (MEP), and the surrounding grounds.

Accuracy and completeness of information varies among information sources. It is not CREtelligent's obligation to independently verify the information provided or to identify mistakes or Insufficiencies in the information provided. CREtelligent will, however, make reasonable effort to compensate for mistakes or Insufficiencies of information reviewed that are obvious in light of other information obtained in the process of conducting the PCA or otherwise known to the consultant.

Walk-Through Survey – The objective of the walk-through survey is to visually observe the Property to obtain information on material systems and components. The walk-through survey consists of non-intrusive visual observations of readily accessible, easily visible components and systems of the Property. Concealed physical deficiencies are excluded. The walk-through survey should not be considered technically exhaustive. It excludes the operation of equipment by the field observer and is to be conducted without the aid of special protective clothing, exploratory probing, removal or relocation of materials, testing, or the use of equipment, such as ladders, except as required for roof access, stools, scaffolding, metering/testing equipment, or devices of any kind.

A single visit will be made to the Property during which time CREtelligent shall make a visual observation of material systems and components and identify physical deficiencies and any unusual features. An attempt will be made to inspect the exterior of each major property improvement. On the interior of structures on the property, accessible common areas, expected to be used by occupants or the public, such as lobbies, hallways and restrooms, maintenance and repair areas, and a representative sample of occupant spaces, will be visually and/or physically observed. Observations of interior areas will generally be limited to 10% of occupiable spaces. The investigation of the building facade will be conducted from street or balcony level. The riding of scaffolding equipment is not part of the scope of work.

The walk-through will be conducted by a single assessor with a well-rounded knowledge of pertinent building systems and components. The use of system subspecialists can frequently provide increased detail in reporting and insight into site conditions. Unless specified in the proposal, no such specialists will be retained in the performance of this work.

The condition of the building structures and components evaluated will be broken down into one of three categories: 1) Poor – not in working condition or requires immediate or short-term repairs substantially above an agreed threshold; 2) Fair – in working condition but may require immediate or short term repairs above an agreed threshold; and 3) Good – in working condition and does not require immediate or short term repairs above an agreed threshold.

The walk-through survey will focus on the following areas:

- Property/Site Features – Observations will be made of the type, condition, and adequacy of the general topography, storm water drainage, ingress and egress, paving, curbing and parking areas, flatwork, landscaping and appurtenances, recreation facilities, amenities and ancillary structures, and utilities.
- Structural Frame and Building Envelope – Observations will be made of the type, condition, and adequacy of the foundation, building frame, façade and curtain walls, and the roofing systems. Structural systems are frequently concealed and may be inaccessible during an assessment. When this occurs, CREtelligent’s assessment will be limited to the identification of readily visible indicators of common problems
- Mechanical, Electrical and Plumbing Systems - Observations will be made of the type, condition, and adequacy of the heating, ventilation and air conditioning (HVAC) systems, electrical systems, and plumbing systems.
- Vertical Transportation – Observations will be made regarding the presence and condition of any elevators or escalators present on the Property.
- Life Safety/Fire Protection - Observations will be made of the type, condition, and adequacy of sprinkler systems, fire alarm systems or any other life safety and fire protection systems.
- Interior Elements - Observations will be made of the type, condition, and adequacy of the interior finishes, fixtures, appliances and furnishings.

Opinions of Cost to Remedy Physical Deficiencies – Based on the documentation review, interviews, and walk-through survey conducted, CREtelligent will identify areas of physical deficiency and deferred maintenance.

Physical deficiency is defined as a conspicuous defect or deferred maintenance of a Property’s material systems, components, or equipment as observed during completion of the PCA. This definition specifically excludes deficiencies that may be remedied with routine maintenance, miscellaneous minor repairs, normal operating maintenance, etc., and excludes de minimis conditions that generally do not constitute a material physical deficiency of the Property. Deferred maintenance is defined as physical deficiencies that could have been remedied with routine maintenance, normal operating maintenance, etc., excluding de minimis conditions that generally do not present a material physical deficiency to the Property.

CREtelligent will provide opinions of the cost to address the suggested remedies of the material physical deficiencies and deferred maintenance identified. Immediate Costs include (1) material existing or potentially unsafe conditions, (2) material building or fire code violations, or (3) physical deficiencies that if left uncorrected would be expected to result in or contribute to critical element or system failure within one year or will result most probably in a significant escalation of its remedial cost. Short-Term Costs include

costs to remedy physical deficiencies, such as deferred maintenance that may not warrant immediate attention, but require repairs or replacements that should be undertaken on a priority basis in addition to routine preventive maintenance. Opinions of cost will not be segregated between immediate and short term costs unless specifically requested by Client.

Opinions of cost will only be provided for material physical deficiencies and not for repairs or improvements that could be classified as: (1) cosmetic or decorative; (2) part or parcel of a building renovation program (3) tenant improvements/finishes; (4) enhancements to reposition the Property in the marketplace; (5) for warranty transfer purposes; or (6) routine or normal preventive maintenance, or a combination thereof. Opinions of cost that are either individually or in the aggregate less than a threshold amount of \$3,000 for like items are considered routine maintenance and are not included in this report. If there are more than four separate like items that are below this threshold requirement, but collectively total over \$10,000, such items may be grouped and included.

These opinions are to assist the user of the report in developing a general understanding of the physical condition of the Property. Opinions of costs should only be construed as preliminary, order of magnitude budgets. Actual costs will likely vary from the consultant's opinions of cost depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, and whether competitive pricing is solicited.

It is not the intent of this assessment for CREtelligent to prepare or provide exact quantities or identify the exact locations of items or systems as a basis for preparing the opinions of cost. Extrapolation of representative observations, conditions deemed by CREtelligent as highly probable, results from information received, or the commonly encountered expected useful lives (EULs) or RULs of the components or systems, or a combination thereof. The source of cost information utilized by CREtelligent may be from one or more of the following resources: (1) Client provided unit costs; (2) owner's historical experience costs; (3) consultant's cost database or cost files; (4) commercially available cost information such as published commercial data; (5) third party cost information from contractors, vendors, or suppliers; or (6) other qualified sources that the consultant determines appropriate.

CREtelligent will also generate a Modified Capital Reserves Schedule. Modified capital reserves are for recurring probable expenditures that are not classified as operation or maintenance expenses. The modified capital reserves should be budgeted for in advance on an annual basis. Capital reserves are reasonably predictable both in terms of frequency and cost; however, capital reserves may also include components or systems that have an indeterminable life but nonetheless have a potential liability for failure within an estimated time period. Modified capital reserves exclude systems or components that are estimated to expire after the reserve term and that are not considered material to the structural and mechanical integrity of the Property. Furthermore, systems and components that are not deemed to have a material effect on the use are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded. Replacement costs are solicited from ownership/property management, CREtelligent's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered. It is understood that a prudent owner would likely invest more than these minimum amounts.

Ratings

Useful life estimates of components are based on published sources including, but not limited to, Life Expectancy Guidelines published by Marshall & Swift, United States Department of Housing and Urban Development guidelines, industry standards and CREtelligent's professional experience in evaluating life and performance of elements, components and systems. Expected remaining useful lives for the building and components assume the current level of maintenance and capital improvements are maintained and the recommendations in this report are implemented.

Quantity estimates are typically based on our field observations or information provided by property management. Replacement costs are based on published sources including, but not limited to, the Means Facility Cost Data, and Means Repair and Remodeling Cost Data, historical costs provided by property management or ownership, CREtelligent's professional experience and contractor cost quotations, when available.

Opinions of Cost

CREtelligent has provided an opinion of the cost to address the identified areas of physical deficiency, if any, identified based on the property reconnaissance, interviews conducted and information collected while conducting this assessment. The opinion of cost does not address items that would be considered normal maintenance. These opinions of cost are provided in the Immediate Repair Cost Table.

In addition, CREtelligent provided an estimate of the minimum capital reserves that will be required to maintain and operate the Property in its current use and its current market position. The Modified Capital Reserves Schedule only addresses major site improvements and systems and is not designed to be an all-inclusive inventory of replacements.

Limitations

Applicable limitations may include any of the following:

- The scope of work completed was designed solely to meet the needs of CREtelligent's Client. CREtelligent's recommendations and opinions of cost are only as of the date the walk-through performed, documentation reviewed and interviews conducted. Conditions at a property and the costs to remedy them can change significantly over a relatively short period of time due to levels of maintenance, acts of nature and other factors. CREtelligent shall not be liable for any unintended usage of this report by another party.
- No PCA can wholly eliminate uncertainty regarding the potential for physical deficiencies at a property. There is an inherent subjective nature of opinions as to such issues as workmanship, quality of original installation, and estimating the remaining useful life of any given component or system. This PCA was designed to reduce but not eliminate uncertainty regarding the existence of such conditions in a manner that recognizes reasonable limits of time and cost. CREtelligent has completed this PCA in accordance with generally accepted consulting practices, and makes no other warranties, either expressed or implied, as to the character and nature of such services or product.

- A PCA is intended to be a non-intrusive investigation. No destructive testing was completed and concealed areas, such as inside plenums, behind walls or within machinery, were not accessed. As such, CREtelligent makes no warranties regarding exterior insulation and finishing systems (EIFS), curtain walls or other building skin conditions that would not be readily observable and, therefore, outside the scope of this assignment.
- This PCA is not intended to be a Professional Architectural or Engineering Service and the person conducting the walk-through survey or reviewing the report should not be considered practicing architecture or engineering. This PCA does not constitute a regulatory or code compliance audit of the building or management systems at the Property. Testing, measuring, or preparing calculations for any system or component to determine adequacy, capacity, or compliance with any standard or code is outside the scope of this assessment.
- Information needed to complete the PCA is based on personal interviews, government records and published resources. Accuracy and completeness of information varies among information sources and is often inaccurate or incomplete. CREtelligent is not required by the ASTM Standard Guide to verify independently the information provided and may rely on information provided to the extent that the information appears reasonable or unless it is obvious that certain information is incorrect based on other information obtained or otherwise actually known to CREtelligent.
- Future engineering calculations, testing, exploratory probing, and removal of materials may identify additional concerns or other alternate or more appropriate schemes or methods to remedy the physical deficiency. An asbestos survey was not completed as part of this PCA. Should asbestos be present, additional costs associated with the removal of the asbestos may occur.
- CREtelligent shall have no on-going obligation to obtain and include information that was not reasonably ascertainable, practically reviewable, or provided to CREtelligent in a reasonable timeframe to formulate an opinion and complete the assessment by the agreed upon due date.

Figures

DRAFT

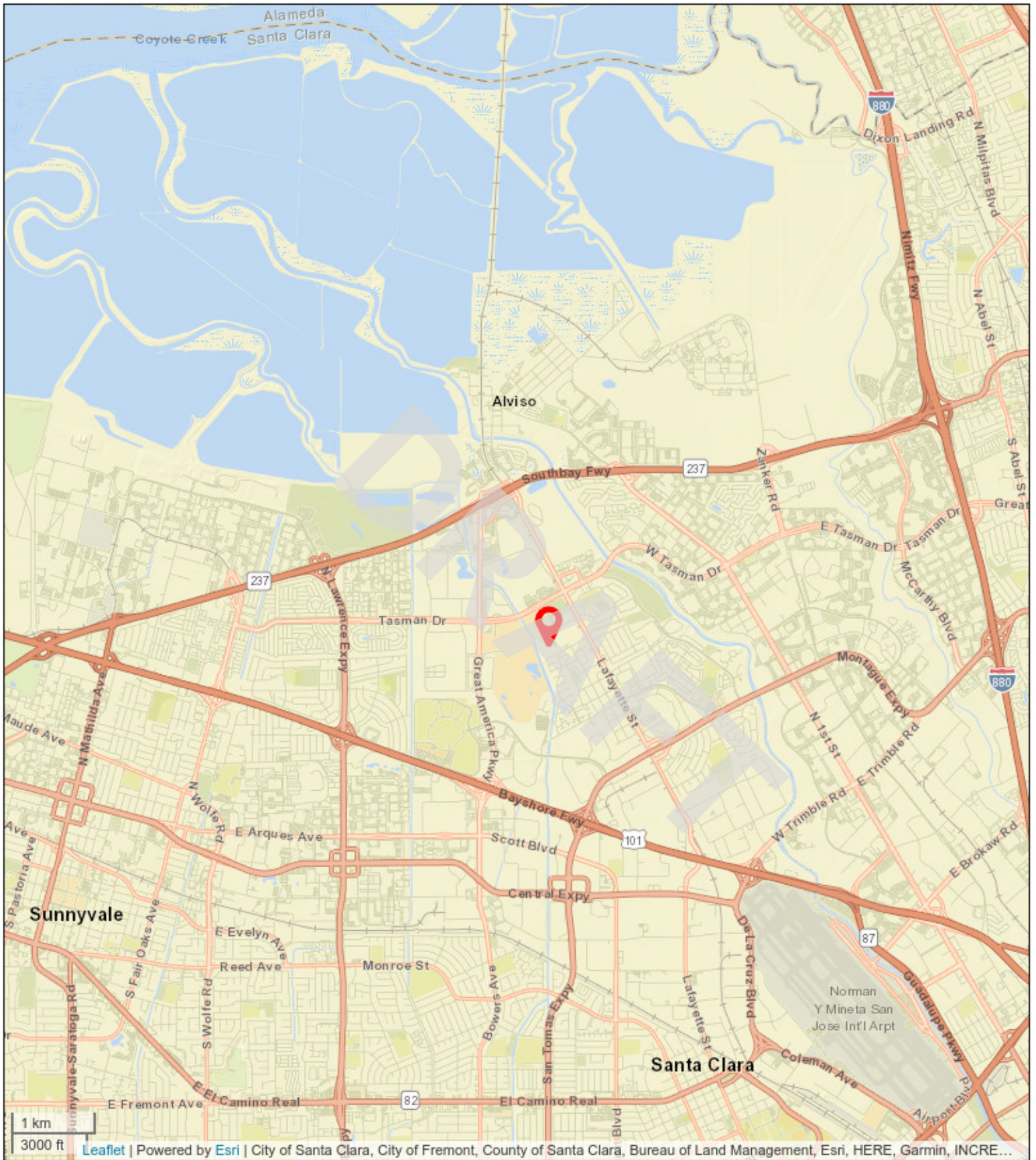


Figure 1: Vicinity Map

Garden Apartments
 100 Main Street
 Anytown, ST 00000





Figure 2: Site Plan

Garden Apartments
100 Main Street
Anytown, ST 00000



Photographs - Site Components



Subject Property entrance



Property signage



Storm drainage



Storm drainage



Asphalt paving



Asphalt paving and concrete curb



Concrete sidewalk



Concrete sidewalk



Site lighting



Site lighting



Site fencing



Dumpster enclosure

Photographs - Structural Frame and Building Envelope



Leasing office building



Typical front elevation



Typical side elevation



Exterior finish materials



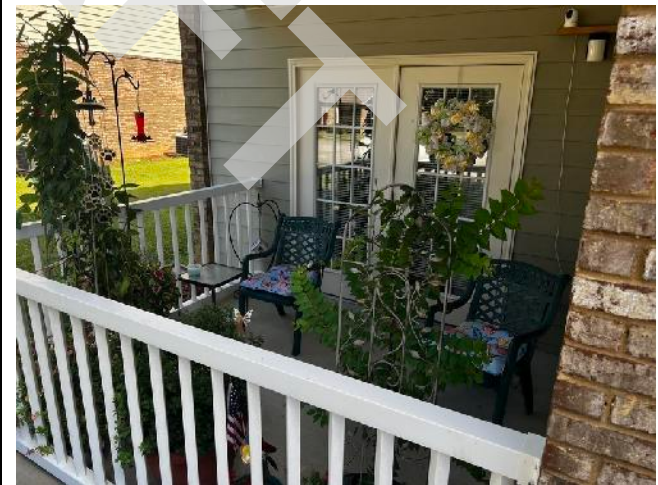
Typical window



Breezeway stairs



Breezeway



dwelling unit patio



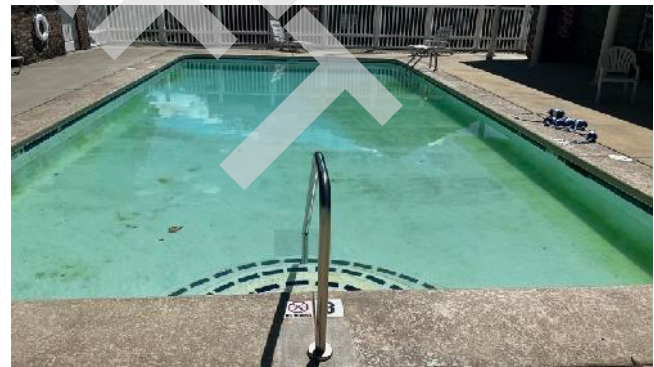
Roof shingles



Roof drainage



Leasing office rear elevation



Swimming pool



Pool house



Basketball court



Playground



Gazebo at picnic area

Photographs - Mechanical/ Electrical/Plumbing Systems



Domestic water heater



HVAC furnace unit



HVAC condensing units



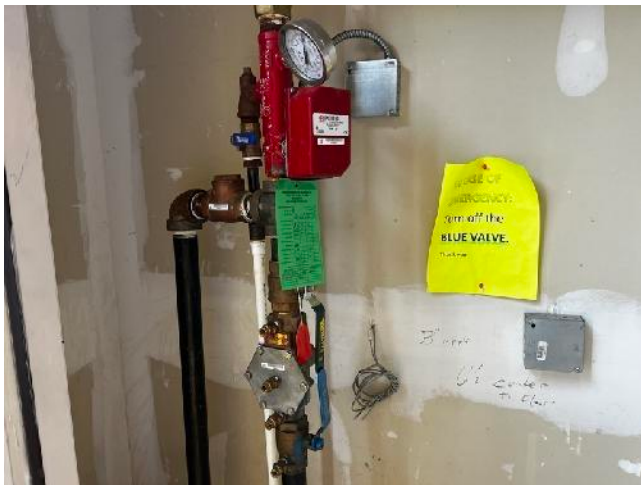
Electrical transformer



Electrical meters



Electrical panel



Fire sprinkler riser



Fire extinguisher

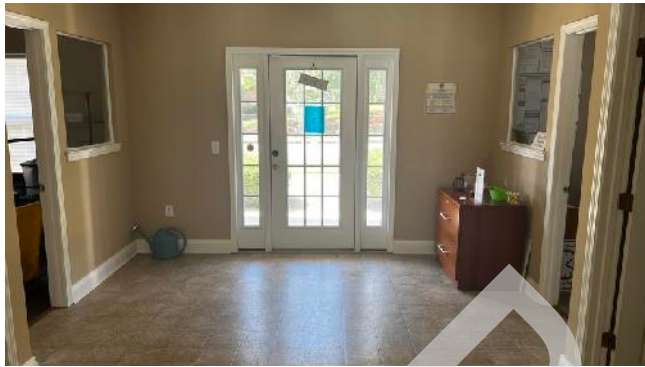


Fire hydrant



Sprinkler head and smoke detector

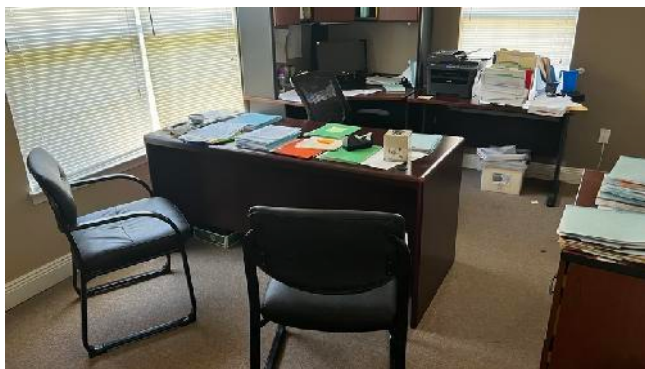
Photographs - Interiors



Leasing office entry



Leasing office reception area



Leasing office



Leasing office restroom



Club room in leasing office



Clubhouse kitchen



Typical living room



Typical dining room



Typical kitchen



Kitchen appliances



Typical bedroom



Typical bathroom

Supporting Documents

Unified Hazard Tool



Please do not use this tool to obtain ground motion parameter values for the design code reference documents covered by the [U.S. Seismic Design Maps web tools](#) (e.g., the International Building Code and the ASCE 7 or 41 Standard). The values returned by the two applications are not identical.

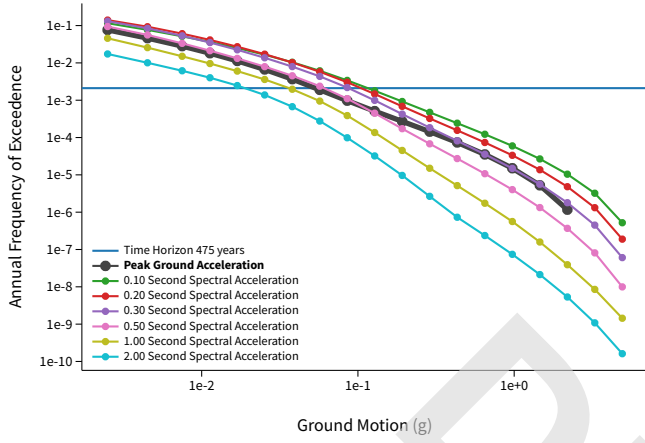
Please also see the new [USGS Earthquake Hazard Toolbox](#) for access to the most recent NSHMs for the conterminous U.S. and Hawaii.

^ Input

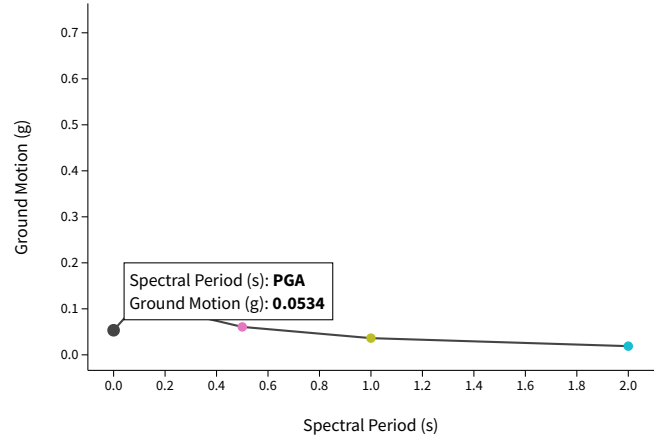
Edition Dynamic: Conterminous U.S. 2014 (u...)	Spectral Period Peak Ground Acceleration
Latitude Decimal degrees 33.962	Time Horizon Return period in years 475
Longitude Decimal degrees, negative values for western longitudes -86.028	
Site Class 760 m/s (B/C boundary)	

^ Hazard Curve

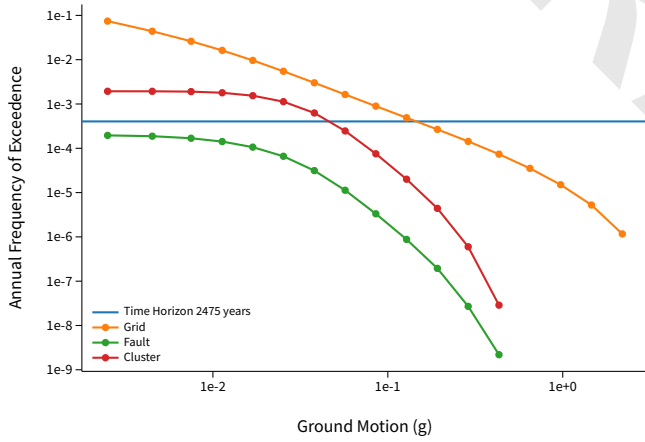
Hazard Curves



Uniform Hazard Response Spectrum



Component Curves for Peak Ground Acceleration



[View Raw Data](#)

QUALIFICATIONS

T. A. "Tadd" Clarkson, RA

Director, Property Condition Services

Summary of Experience

Mr. Clarkson pairs over a decade of due diligence work with 25 years of experience as a design architect. With his depth of experience across a broad spectrum of property and reporting types, there is not much he hasn't seen. And when new questions arise in one context, he finds answers by drawing on what he has learned in others.

As an architect, Mr. Clarkson developed high levels of expertise in research and design for compliance with building/fire codes, evaluation and recommendation of proposed building sites, construction progress monitoring, and materials/technology selection.

Mr. Clarkson's Property Condition Assessment (PCA) experience includes work with a wide range of property and building types throughout the US and into Canada. While familiar with industry guidelines such as ASTM E2018 and Standard & Poor's PCA Criteria, he also knows that reporting must conform to each client's unique needs.

Mr. Clarkson is qualified as both a Property Evaluator and a Report Reviewer for Fannie Mae and Freddie Mac PCAs. He is certified by the US Department of Housing and Urban Development (HUD) for Multifamily Accelerated Processing (MAP) projects and has additional training for HUD Lean 232/223f work.

Mr. Clarkson's architectural background is well suited to pre-construction evaluations, presenting a set of strengths not often seen together in the due diligence arena. He also has experience in more complicated applications of these processes, such as Low-Income Housing Tax Credit (LIHTC) and Freddie Mac Pre-Construction Analysis, understanding the balance of care and timeliness that these types of projects require.

Key Project Experience

Wild Dunes Resort, Isle of Palms, SC. PCA survey and report on a 250-acre beachfront resort with lodging facilities, a conference center, clubhouse and amenity buildings, swimming pools, tennis centers, support buildings, and two 18-hole golf courses. The survey included all client-owned structures at the property.

Union Station, Washington, DC. Equity-level PCA survey and report on the historic train depot in the center of the nation's capital. Due to client need, the report was produced on a highly compressed schedule.

Six-Site Portfolio, Vicksburg, MS. HUD Rental Assistance Demonstration (RAD) PCA Reports and Tax Credit Pilot Project (TCPP) AEC Renovation Analysis Reports on six properties containing a total of 370 detached homes and 60 apartment units. Also assisted with Mississippi Housing Authority Tax Credit applications.

Multifamily Complex, Nashville, TN. Freddie Mac PCA and Pre-Construction Analysis for a 176-unit apartment complex, in advance of planned renovations. Single-source and single-author responsibility allowed for close coordination between reports and integrated representation of both the existing conditions and the proposed new work.

Education

B.S. Architecture, University of Virginia

Industry Tenure

Architecture: 1986-2011

Due Diligence: 2012-Present

Related Experience

ASTM Property Condition Assessments

Fannie Mae / Freddie Mac PCA Reports

HUD Physical Needs Assessments

Document and Cost Reviews

Freddie Mac Pre-Construction Analysis

Construction Progress Monitoring

Active Licenses

North Carolina Registered Architect

Tennessee Registered Architect

Special Skills & Training

LEED Accredited Professional

(Leadership in Energy & Environmental Design)

Fannie Mae / Freddie Mac Qualified

(as both Evaluator and Reviewer)

HUD MAP Certification

(Multifamily Accelerated Processing)

HUD Lean 232/223f Training

Regional Location

Charleston, South Carolina